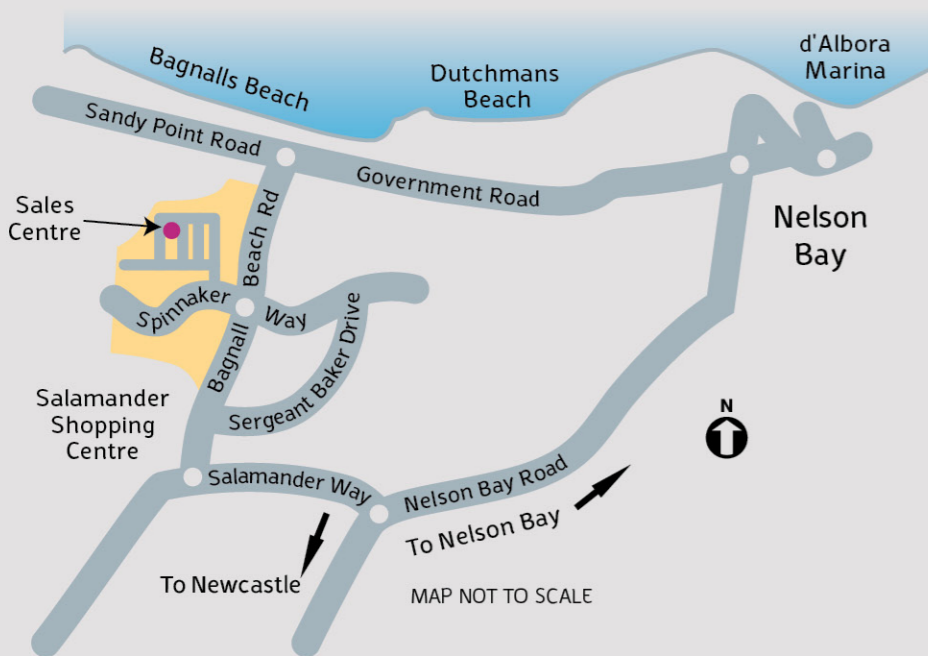


Legend

- ∅ Lots subject to fill
- s- Sewer
- 'A' Easement to drain water 1.5m wide
- 'B' Easement to drain water 4.5m wide
- Walkway
- Cycleway
- Indicative street tree planting
- Indicative lot tree planting



Port Stephens



Sales Plan Notes

Project 12809 – Precinct 26, Release 1, Vantage Corlette

1. Fill and excavation

Lots 2601–2603 inclusive, 2616–2624 inclusive and 2638 have been filled in part or in whole. Intending purchasers should satisfy themselves of any requirements Council may have in relation to building on these lots. Apart from minor site regrading and embankment filling related to roadworks, no significant filling has been placed by New South Wales Land and Housing Authority on any other sites.

2. Lot dimensions

The dimensions shown on the Sales Plan are indicative only. Detailed lot dimensions are shown on the plans of subdivision known as Deposited Plans, which are attached to the respective Land Sales Contracts.

3. Design

In order to promote a quality streetscape, all Lots at Vantage are subject to Design Guidelines which may control aspects of landscaping, fencing and building design. Copies of the Design Guidelines, setting out the approval process, are available from Landcom's Vantage Sales Centre.

4. Restrictions on use of the lots

To ascertain the uses permitted on the lots and controls on development of the lots it is recommended that intending purchasers make enquiries at Council. In addition, Council will be able to advise as to whether any development applications have been lodged in respect of the lot or in respect of nearby lands.

Any person is able to inspect Council's register of development applications. Details of Major Project Assessments may be found on the web site of the NSW Department of Planning.

Certain restrictions on the use of the land can be found in the instrument created at the time of registration of the plan of subdivision under Section 88B of the NSW Conveyancing Act, 1919. Where applicable, a copy of the Section 88B instrument is attached to the Land Sales Contract.

5. Fencing costs

Unless marked on the plan, Landcom will not contribute to the cost of any boundary fencing.

6. Utility services

The New South Wales Land and Housing Corporation has met the requirements of Council and the utilities providers in carrying out the subdivision works. The location of utility services, including sewer lines, shown on the plan is based on design information only. The final position of utility services, 'as constructed', may vary from these locations. Purchasers should make their own enquiries of utilities providers in relation to:

- utilities connection and service provision to the lot;
- the location of utility services; and,
- building over, or near, utility services.

7. Landscaping and embellishment

The depiction of landscaping, footpath paving, street tree planting, lot tree planting, the embellishment of parks, and the like, on the sale plan is indicative only and does not necessarily reflect final designs which require the input of, and approval of, various authorities.

8. Sales process

The New South Wales Land and Housing Corporation reserves the right to withdraw any lot from sale at any time.

9. Disclaimer

These notes are for the information of prospective purchasers. The conditions of the Contract for Sale of Land relating to the lots take precedence over these notes.

In all instances purchasers must rely on their own enquiries.

